



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Steres and Members of the Architectural Review Board

**FROM:** Wendy Lao, Assistant Planner

**MEETING DATE:** May 9, 2017

**SUBJECT:** Architectural Permit (AP) #17-399 to allow exterior changes, including the alteration of existing straight stairs to L-shape with cable railings, the replacement of storefront windows with bronze aluminum frame and clear glass, and new doors. There is no change to gross floor area or coverage.

**ADDRESS:** 167 Central Avenue (APN 006-237-020)

**ZONING/  
LAND USE:** C-1/Commercial

**APPLICANT/  
OWNER:** Douglas Roberts, AIA, JHW Architects, on behalf of Gerda Marotta Trust, owners

**CEQA:** Categorical Exemption, Section 15301, Existing Facilities, and Section 15303, New Construction or Conversion of Small Structures

**RECOMMENDATION**

Receive report, hold public hearing, and approve AP #17-399 based on the findings and subject to the staff-recommended conditions.

**BACKGROUND**

On April 25, 2017, Douglas Roberts, AIA, of JHW Architects, applied for an Architectural Permit #17-399 for a property located at 167 Central Avenue in Pacific Grove. The permit would allow an existing 2-story commercial building to alter its exterior straight stairs to L-shape to meet the 2016 California Building Standards Code. The proposed project also seeks to replace the wooden stair railing with cable railings, add new doors toward the rear, and replace the storefront windows with bronze aluminum frame and clear glass. There is no change to gross floor area or coverage.

**DISCUSSION**

Zoning Code

The proposed development is in conformance with all requirements of the C-1 zone.

The new landing for the stairs will be set back more than 41 ft. from the front of the property, which is within the front setback requirement of 0 feet, pursuant to P.G.M.C. §23.31.040. There is no change to site coverage, building coverage, gross floor area, height, or any other setbacks, all of which are allowed pursuant to P.G.M.C. §23.31.040.

Architecture Review Guidelines:

The project proposal appears to adhere to the following Architectural Review Guidelines:

*Guideline #38: Exterior materials should be compatible with those that predominate in the area.*  
The project proposes to use cable railings for the altered stairs, which will match the other existing stairs. The project also proposes to replace the existing storefront windows on the downstairs and upstairs with bronze aluminum frame and clear glass, which will provide a cohesive and improved appearance.

*Guideline #36: Design a façade to provide visual interest to the street.*  
The façade maintains its combination of large storefront windows, brick veneer, and wooden siding. The use of varying materials provides visual interest to the street.

*Appendix IV: Window Guidelines (A)(1): As a general rule, consistency of window style and materials within a single structure is strongly encouraged.*  
The project proposes to replace the existing storefront windows on the downstairs and upstairs with bronze aluminum frame and clear glass, which will help to provide a consistent window style and visually-pleasing aesthetics.

Environmental Determination:

The project qualifies for a Class 1 and Class 3 exemption from CEQA requirements, pursuant to Section 15301(e)(1) – Existing Facilities and Section 15303 – New Construction or Conversion of Small Structures. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations conform to the requirements of the California Environmental Quality Act (CEQA).

**ATTACHMENTS**

- A. Permit Application
- B. Project Data Sheet
- C. Draft Permit
- D. Window Details
- E. Project Plans

RESPECTFULLY SUBMITTED:

*Wendy Lao*

---

Wendy Lao, Assistant Planner



**CITY OF PACIFIC GROVE**

**Community Development Department – Planning Division**

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

**Permit Application**

Application # AP 17-399  
Date: 4/25/17  
Total Fees: 2573.<sup>30</sup>

**APPLICANT/OWNER:**

**Project Address:** 167 Central Avenue **APN:** 006-237-020-000

**Project Description:** Replacement of Exterior Exit Stairs and Storefront Windows.

**Tree Work?**  Yes  No

<b>Applicant</b>	<b>Owner</b>
Name: <u>Douglas Roberts, AIA; JHW Architects, Inc.</u>	Name: <u>Gerda Marotta Trust</u>
Phone: <u>831-649-1701</u>	Phone: <u>831-624-9782</u>
Email: <u>doug@jhwarch.com</u>	Email: <u>trigmar@att.net</u>
Mailing Address: <u>2400 Garden Rd, Ste C</u> <u>Monterey, CA 93940</u>	Mailing Address: <u>PO Box 22380</u> <u>Carmel, CA 93922</u>

**PLANNING STAFF USE ONLY:**

**Permit Request:**

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> PUU: Undocumented Unit
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> ADC: Arch Design Change	<input type="checkbox"/> ADU: Acc. Dwelling Unit	<input type="checkbox"/> A: Appeal	<input type="checkbox"/> Stormwater Permit
<input type="checkbox"/> ASP: Admin Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> TPD: Tree Permit W/ Dev't	<input type="checkbox"/> Other: _____

<p><b>CEQA Determination:</b></p> <input checked="" type="checkbox"/> Exempt <input type="checkbox"/> Initial Study & Mitigated Negative Declaration <input type="checkbox"/> Environmental Impact Report	<p><b>Review Authority:</b></p> <input type="checkbox"/> Staff <input type="checkbox"/> ZA <input type="checkbox"/> SPRC <input checked="" type="checkbox"/> ARB	<p><b>Active Permits:</b></p> <input type="checkbox"/> Active Planning Permit <input type="checkbox"/> Active Building Permit <input type="checkbox"/> Active Code Violation Permit #: _____	<p><b>Overlay Zones:</b></p> <input type="checkbox"/> Butterfly Zone <input type="checkbox"/> Coastal Zone <input checked="" type="checkbox"/> Area of Special Biological Significance (ASBS) <input type="checkbox"/> Environmentally Sensitive Habitat Area (ESHA)
---	---	---	---

**Property Information**

Lot: 8/9/10 Block: 5 Tract: University addition  
 ZC: C-1 GP: COMMERCIAL Lot Size: 12313.93

Historic Resources Inventory  Archaeologically Sensitive Area

**Staff Use Only:**

Received by: WV **APR 25 2017** **\$ PAID 2,573.30**  
 Assigned to: \_\_\_\_\_ **4-25-17**

CITY OF PACIFIC GROVE  
COMMUNITY DEV DEPT

**CERTIFICATION** – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge. I further acknowledge it is my responsibility to determine whether additional permits are required.

**Applicant Signature:** \_\_\_\_\_  
**Owner Signature (Required):** Gerda Marotta

**Date:** 4-21-17  
**Date:** 4-21-17  
Updated: 03/09/2017

PROJECT DATA SHEET

Project Address: 167 Central Submittal Date: \_\_\_\_\_  
 Applicant(s): \_\_\_\_\_ Permit Type(s) & No(s): \_\_\_\_\_

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District		C-1		No change
Building Site Area		12,314 SF		No change
Density (multi-family projects only)		-		-
Building Coverage		72%		No change
Site Coverage		72%		No change
Gross Floor Area		14,761		No change - includes 2nd exterior exit balconies.
Square Footage not counted towards Gross Floor Area				N/A
Impervious Surface Area Created and/or Replaced		-	± 226	Most replaced on city ROW. Impervious area is under (E) Roof
Exterior Lateral Wall Length to be demolished in feet & % of total*	_____	_____	_____ ft/ 0%	N/A
Exterior Lateral Wall Length to be built	_____	_____	0	N/A
Building Height		26'		No change
Number of stories		2		No change
Front Setback	0	0		No change
Side Setback (specify side)	0	0		No change
Side Setback (specify side)	0	0		No change
Rear Setback	5'	0		No change (R4 zone @ Rear)
Garage Door Setback				N/A
Covered Parking Spaces		6		No change
Uncovered Parking Spaces		6		No change
Parking Space Size (Interior measurement)	9' x 20'			No change
Number of Driveways	1	1		No change
Driveway Width(s)				No change
Back-up Distance		2ft plus		No change
Eave Projection (Into Setback)	3' maximum			No change
Distances Between Eaves & Property Lines	3' minimum			No change
Open Porch/Deck Projections				N/A
Architectural Feature Projections				N/A
Number & Category of Accessory Buildings				N/A
Accessory Building Setbacks				N/A
Distance between Buildings				N/A
Accessory Building Heights				N/A
Fence Heights				N/A

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



## CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

### ARCHITECTURAL PERMIT #17-399

**FOR A PROPERTY LOCATED AT 167 CENTRAL AVENUE TO ALLOW EXTERIOR CHANGES, INCLUDING THE ALTERATION OF EXISTING STAIRS TO L-SHAPE WITH CABLE RAILINGS, REPLACEMENT OF STOREFRONT WINDOWS WITH BRONZE ALUMINUM FRAME AND CLEAR GLASS, AND NEW DOORS. THERE IS NO CHANGE TO GROSS FLOOR AREA OR COVERAGE.**

#### FACTS

1. The subject site is located at 167 Central Ave, Pacific Grove, 93950 (APN 006-237-020)
2. The subject site has a designation of Commercial on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the C-1 zoning district.
4. The subject site is a 12,313.93 square feet (0.28 acre) interior lot.
5. The subject property was built in 1981, and is not on the City's Historic Resources Inventory.
6. The subject site is developed with a two-story commercial building for the Monterey Bay Aquarium totaling 14,761 gross square feet.
7. The subject site is located in the Area of Special Biological Significance Watershed.
8. This project has been determined to be CEQA Exempt under CEQA Guidelines 15301/15303.

#### FINDINGS

1. The proposed development will meet the development regulations set forth in the C-1 zoning district including setbacks and height requirements and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No. 36, 37, and 38;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Board has been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations.

#### PERMIT

Architectural Permit (AP) 17-399 to allow exterior changes, including the alteration of existing stairs to L-shape with cable railings, replacement of storefront windows with bronze aluminum frame and clear glass, and new doors. There is no change to gross floor area or coverage.

#### CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and

conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.

4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “Monterey Bay Aquarium – Tenant Improvements” dated April 18, 2017, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Street Trees.** One tree must be planted per 30 feet of frontage, with a minimum of two trees
8. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
9. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

**NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:**

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of AP 17-399 to allow exterior changes, including the alteration of existing stairs to L-shape with cable railings, replacement of storefront windows with bronze aluminum frame and clear glass, and new doors. There is no change to gross floor area or coverage.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 9<sup>th</sup> day of May 2017, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

\_\_\_\_\_  
Rick Steres, Chair

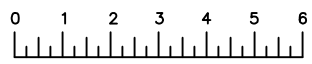
The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

\_\_\_\_\_  
Gerda Marotta Trust, Owner

\_\_\_\_\_  
Date

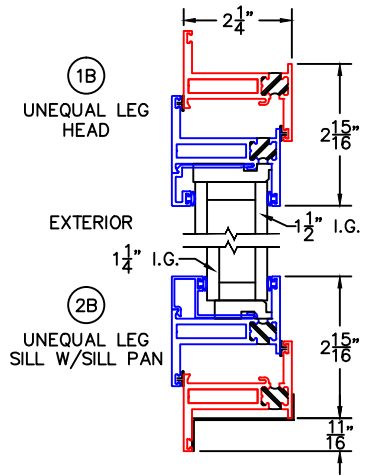
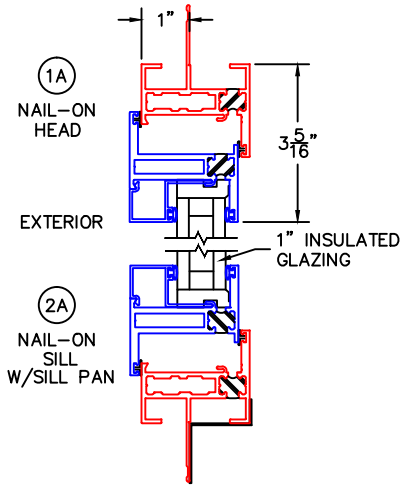
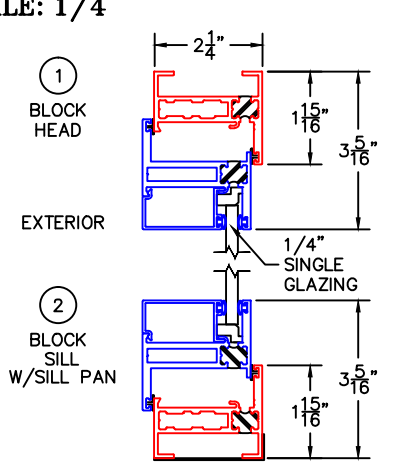




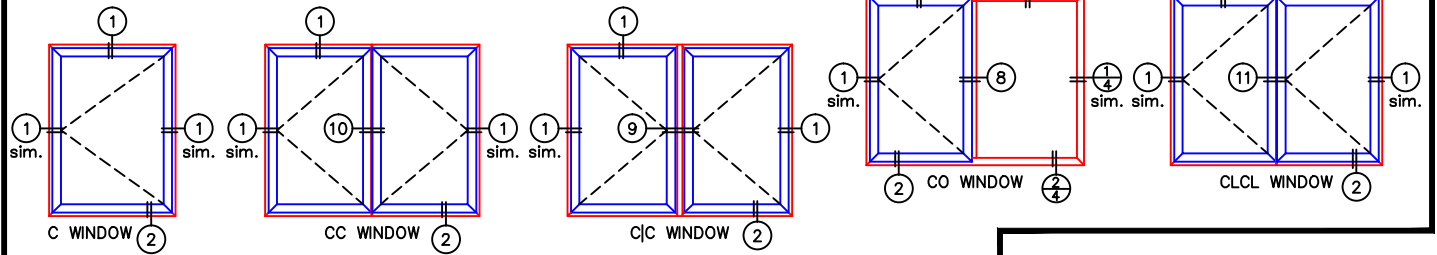
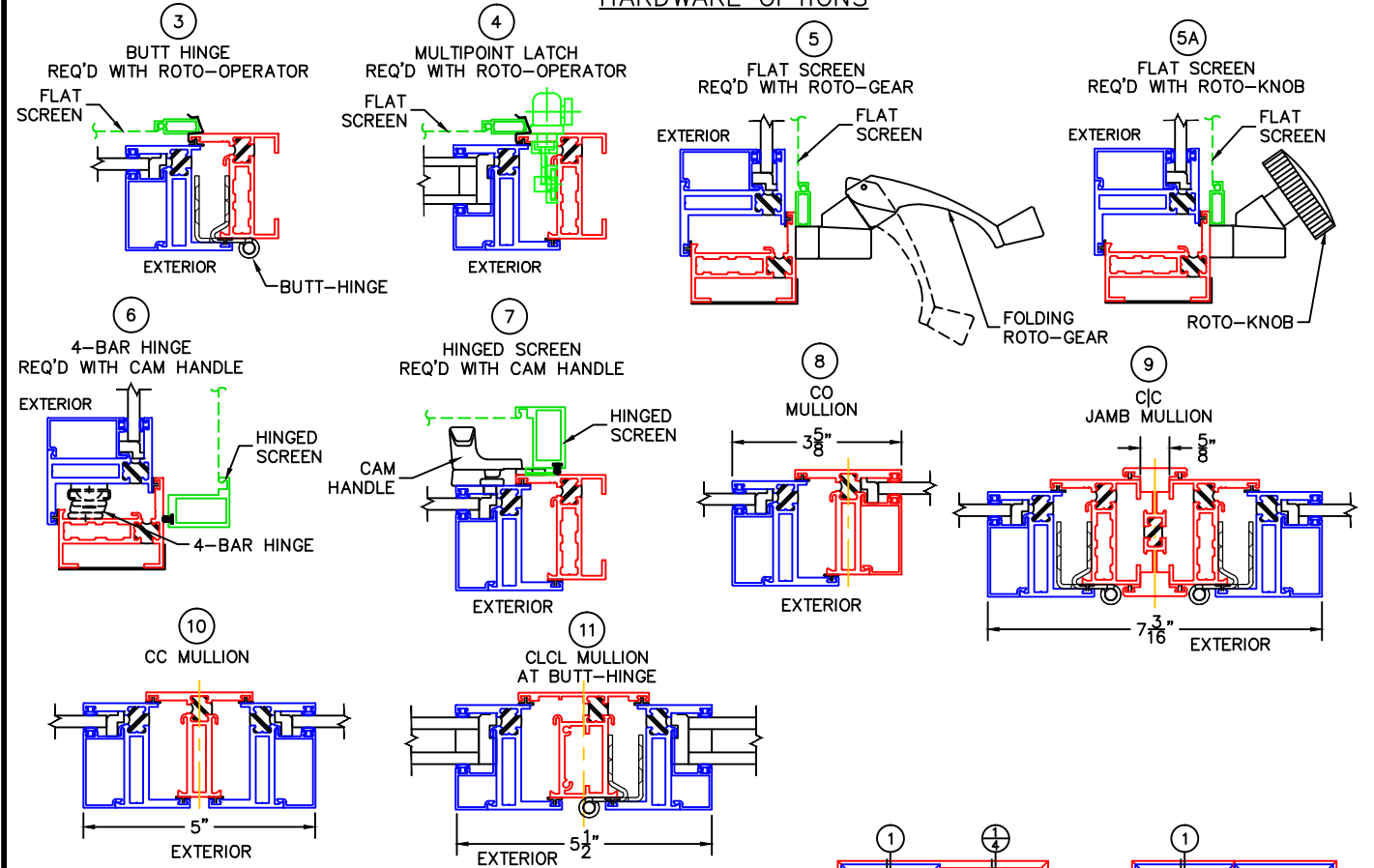


(USE RULER TO SCALE DIMENSIONS IN INCHES)  
**SCALE: 1/4**

**CASEMENT WINDOW DETAILS**  
1/4" SINGLE, 1", 1-1/4" AND  
1-1/2" INSULATED GLAZING SHOWN



**HARDWARE OPTIONS**



-GLASS PENETRATION: 1/2"  
-EXTERIOR RATED PRODUCTS HAVE WEEP SLOTS ON HORIZONTAL SILLS.



# GENERAL NOTES

- THIS BUILDING HAS A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM, AND NEW INTERIOR CONDITIONS WILL REQUIRE CHANGES TO THE SPRINKLER HEAD LOCATIONS. ALL CHANGES TO THE FIRE SPRINKLER SYSTEM, THE FIRE ALARM SYSTEM, AND ADDITION OF A DEDICATED DRY FIRE SUPPRESSION SYSTEM ARE DEFERRED SUBMITTALS, AND SHALL BE SUBMITTED TO THE MONTEREY FIRE DEPARTMENT, TO BE APPROVED BEFORE A FRAMING INSPECTION WILL BE GRANTED BY THE BUILDING DEPARTMENT.
- DRAWING(S) AND SUPPORTIVE CALCULATIONS FOR ALL MODIFICATIONS TO THE EXISTING FIRE SUPPRESSION AND ALARM SYSTEMS ARE REQUIRED TO BE SUBMITTED BY THE INSTALLING LICENSED SUB-CONTRACTOR TO THE MONTEREY FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- SEE DRAWING A-1.1 FOR CAL GREEN REQUIREMENTS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VISITING THE JOB SITE AND OBTAINING ALL CORRECT INFORMATION FOR THE COMPLETION OF THE CONTRACT.
- GENERAL DIMENSIONING GUIDELINES:
  - ALL DIMENSIONS LOCATING EXISTING EXTERIOR WALLS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
  - DIMENSIONS LOCATING INTERIOR WALLS ARE TO FACE OF FINISH TO ALIGN WITH EXISTING FINISHES.
- IN THE EVENT THAT CERTAIN DETAILS OF THE CONSTRUCTION ARE NOT FULLY SHOWN OR NOTED ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE OF THE SAME SIZE, TYPE, AND CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN OR NOTED.
- THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- THE ARCHITECT PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.



# 167 CENTRAL AVENUE PACIFIC GROVE, CA 93950

## DRAWING INDEX

ARCHITECTURAL	
A-1	INDEX, LEGENDS, NOTES AND SITE PLAN
A-2	SITE PLAN
A-2.1	STAIR DETAILS
A-3.1	NEW FIRST FLOOR PLAN
A-3.2	NEW SECOND FLOOR PLAN, FINISH SCHED

**JHW**  
ARCHITECTS INC. ■  
2400 GARDEN ROAD  
SUITE C  
MONTEREY, CA 93940  
(831) 649-1701  
FAX (831) 649-3072  
www.jhwarch.com



PROJECT/OWNER



## MONTEREY BAY AQUARIUM® TENANT IMPROVEMENTS

AT  
167 CENTRAL AVE.  
PACIFIC GROVE, CA 93950

APN 006-237-020

DRAWN BY: dr, ca  
PRINT DATE:  
DRAWING DATE: 04-18-17  
DATE ISSUED FOR CONSTRUCTION:  
REVISIONS:  
MBA REVIEW 04-19-2017  
PLANNING SUBMITTAL 04-24-17

## ABBREVIATIONS

A.B.	ANCHOR BOLT	LAV.	LAVATORY
A.C.	ASPHALTIC CONCRETE	LB, LBS	POUND(S)
A.D.	AREA DRAIN	LT.	LIGHT
ADJ.	ADJUSTABLE	MAX.	MAXIMUM
ALUM.	ALUMINUM	M.B.	MACHINE BOLT
ANOD.	ANODIZED	M.C.	MEDICINE CABINET
BD.	BOARD	MECH.	MECHANICAL
BLDG.	BUILDING	MEMB.	MEMBRANE
BLK.	BLOCK	MFR.	MANUFACTURER
BM.	BEAM	MIN.	MINIMUM
C.B.	CATCH BASIN	MISC.	MISCELLANEOUS
CEM.	CEMENT	(N)	NEW
C.I.	CAST IRON	N.I.C.	NOT IN CONTRACT
C.J.	CONSTRUCTION JOINT	NO.	NUMBER
CLG.	CEILING	N.T.S.	NOT TO SCALE
C.M.U.	CONCRETE MASONRY UNIT	OBS.	OBSCURE
COL.	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
CONN.	CONNECTION	OFOW	OWNER FURNISHED, OWNER INSTALLED
CONT.	CONTINUOUS	PL.	PLATE
C.O.	CLEAN OUT	P.LAM.	PLASTIC LAMINATE
DBL.	DOUBLE	PLAST.	PLASTER
D.F.	DRINKING FOUNTAIN	PWD.	PLYWOOD
D.F.	DOUGLAS FIR	PR.	PAIR
DET.	DETAIL	P.S.F.	POUNDS per SQUARE FOOT
DIA.	DIAMETER	P.S.I.	POUNDS per SQUARE INCH
DN.	DOWN	P.T.	PRESSURE TREATED
DR.	DRIVE	P.V.C.	POLY VINYL CHLORIDE PLASTIC
DS.	DOWN SPOUT	R.	RISER
DWG.	DRAWING	R.D.	ROOF DRAIN
(E)	EXISTING	REF.	REFRIGERATOR
EA.	EACH	REF.	REINFORCED
E.J.	EXPANSION JOINT	RM.	ROOM
E.P.D.M.	SYNTHETIC RUBBER CLOSURE STRIP	R.O.	ROUGH OPENING
EQ.	EQUAL	RWD.	REDWOOD
EXT.	EXTERIOR	S.B.	SOLID BLOCKING
F.A.	FIRE ALARM	S.C.	SOLID CORE
F.D.	FLOOR DRAIN	S.F.	SQUARE FOOT (FEET)
F.E.	FIRE EXTINGUISHER	SFT.	SHEET
EW.C.	ELECTRIC WATER COOLER	SIM.	SIMILAR
F.E.C.	FIRE EXTINGUISHER CAB	S.M.	SHEET METAL
FIN.	FINISH	S&P.	SHelf AND POLE
FLR.	FLOOR	SPEC.	SPECIFICATION
FLASH	FLASHING	SQ.	SQUARE
FLUOR	FLUORESCENT	S.S.	STAINLESS STEEL
F.O.C.	FACE OF CONCRETE	T.	TREAD
F.O.M.	FACE OF MASONRY	T.B.	TOWEL BAR
F.O.S.	FACE OF STUD	T.B.N.	TYPICAL BOUNDARY NAILING
F.R.P.	FIBER REINFORCED PLASTIC	T.C.	TOP OF CURB
FT.	FOOT or FEET	T.E.N.	TYPICAL EDGE NAILING
FURR.	FURRING	T&G	TONGUE AND GROOVE
GA.	GAUGE	T.S.	TUBE STEEL
GALV.	GALVANIZED	T.V.	TELEVISION
G.I.	GALVANIZED IRON	TYF.	TYPICAL
G.B.	GRAB BAR	U.O.N.	UNLESS OTHERWISE NOTED
GL.	GLASS	V.G.	VERTICAL GRAIN
GYP.	GYP SUM	W/	WITH
GW.B.	GYP SUM WALL BOARD	WD.	WOOD
H.B.	HOSE BIB	W.H.	WATER HEATER
H.C.	HOLLOW CORE	W/O	WITH OUT
HDR.	HEADER	W.P.M.	WATERPROOF MEMBRANE
H.M.	HOLLOW METAL	WT.	WEIGHT
HORIZ.	HORIZONTAL	W.W.M.	WELDED WIRE MESH
HR.	HOUR	W.W.F.	WELDED WIRE FABRIC
INSUL.	INSULATION		
INT.	INTERIOR		
JT.	JOINT		
LAM.	LAMINATE		

## SYMBOLS

	SECTION		MATCH LINE
	SECTION NO.		SHADED PORTION
	DETAIL NO.		IS SIDE CONSIDERED
	DETAIL SHEET NO.		DATUM OR WORK POINT
	INTERIOR ELEVATION		SECTION NEW GRADE
	DETAIL TITLE		SECTION EXISTING GRADE
	ROOM IDENT.		FINISH CONTOUR
	COLUMN OR GRID		EXIST. CONTOUR
	DOOR SYMBOL		TOP OF WALL
	WINDOW TYPE		TOP OF CURB
	LOUVER TYPE		TOP OF PAVEMENT
	REVISION		AND
	CLOUD OPTIONAL		ANGLE
	DATE OF REVISION		AT
	IN DATE BOX.		CENTER LINE
			DIAMETER
			OVER
			PENNY
			PERPENDICULAR
			PLATE
			POUND(S), or NUMBER
			SQUARE FOOT
			WITH

## MATERIALS

	EARTH		WOOD, FINISH
	ROCK		WOOD FRAMING
	SAND, MORTAR, PLASTER		WOOD BLOCKING
	CONCRETE BLOCK, BRICK		PLYWOOD
	CONCRETE		GYP SUM WALLBOARD
	(E) STUD WALL, ADD BATT INSUL.		RIGID INSULATION
	REMOVE EXISTING STUD WALL		ACOUSTIC TILE
	NEW STUD WALL W/ BATT INSUL.		A.C. PAVING
	STUD WALL 1 HR. CONSTRUCTION		METAL
	STUD WALL W/ BATT INSULATION		

## PROJECT DATA

**ZONING: C-1**

**LEGAL DESCRIPTION:** UNIVERSITY ADD TO PACIFIC GROVE N.ELY 80 FT OF LOTS 8 & 9 AND ALL OF LOT 10 BLOCK 5.

**BUILDING CODE SUMMARY:**  
(BASED ON 2016 CA BUILDING CODE)

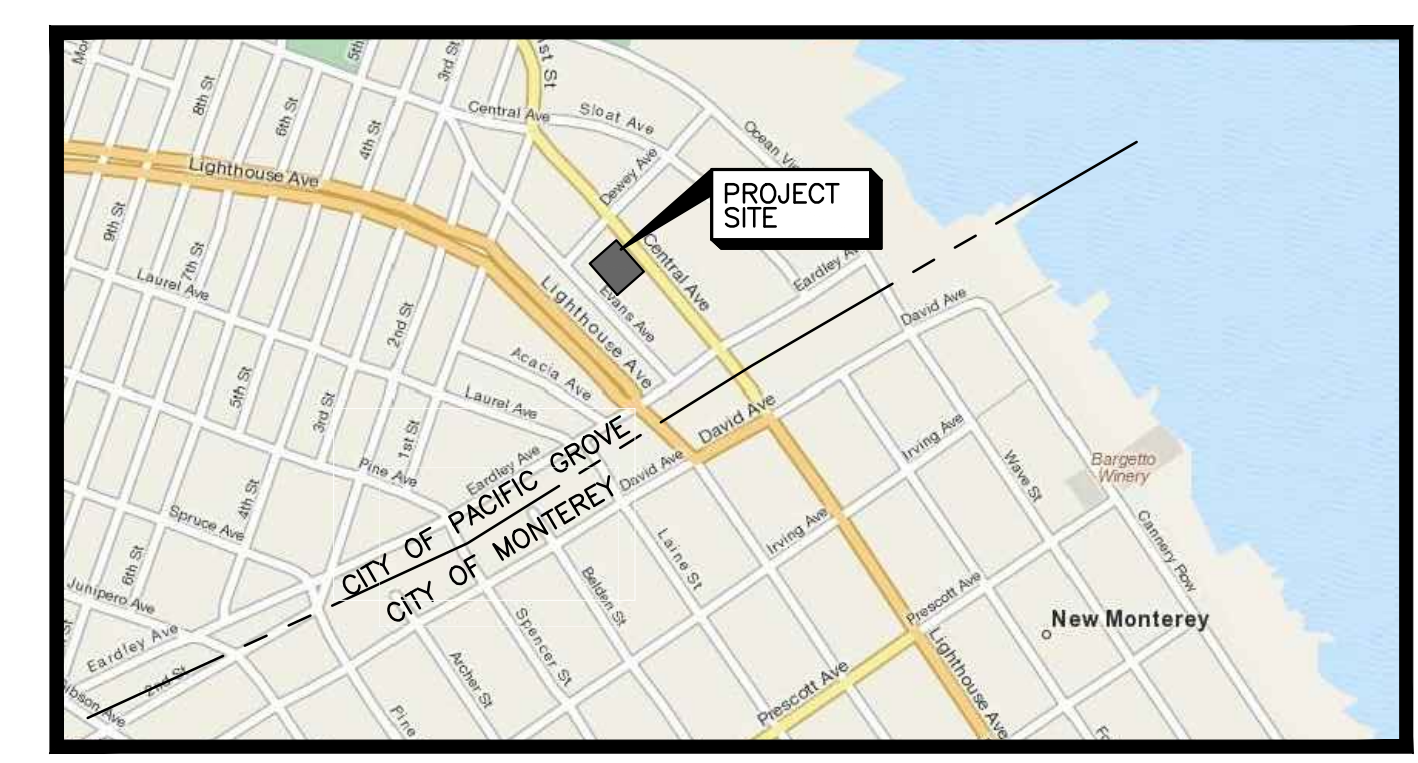
EXISTING CONSTRUCTION TYPE: TYPE V-B, FULLY SPRINKLERED (EXISTING SERVER ROOM HAS FM-200 DRY FIRE SUPPRESSION SYSTEM IN LIEU OF SPRINKLERS.)

OCCUPANCIES: "B" OFFICES & ACCESSORY LAB, "S-1" STORAGE, AND "S-2" PARKING GARAGE, PER CBC TABLE 508.4, 1-HR OCCUPANCY SEPARATION REQUIRED. PER CBC TABLE 602, 1-HR RATING '5' TO PROPERTY LINE. NO RATING REQUIRED AT 10' OR MORE.

BASIC ALLOWABLE AREA □ TYPE V-B, 'B' OCC. SM □ 27,000 SF (TABLE 506.2) ("B" - MOST RESTRICTIVE. MIXED OCCUPANCY CALCULATION NOT NEEDED)

ACTUAL AREAS (GROSS):  
FIRST FLOOR □ 8,830 SF  
SECOND FLOOR □ 5,931 SF  
TYPE V-B TOTAL □ 14,761 SF (□ 27,000' OK)  
(INCLUDES 2nd FLR EXTERIOR EXIT BALCONIES)

## VICINITY MAP



## CODE COMPLIANCE

2016 BUILDING STANDARDS ADMIN CODE,	PART 1, CBSC
2016 CALIFORNIA BUILDING CODE (CBC),	PART 2, CBSC
2016 CALIFORNIA ELECTRICAL CODE (CEC),	PART 3, CBSC
2016 CALIFORNIA MECHANICAL CODE (CMC),	PART 4, CBSC
2016 CALIFORNIA PLUMBING CODE (CPC),	PART 5, CBSC
2016 CALIFORNIA ENERGY CODE,	PART 6, CBSC
2016 CALIFORNIA FIRE CODE,	PART 9, CBSC
2016 CA GREEN BLDG STDS CODE (CALGREEN)PART 11,	CSBC

SHEET TITLE:

## INDEX LEGENDS NOTES & SITE PLAN

SHEET NUMBER:

# A-1

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THESE CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.





PROJECT/OWNER



**MONTEREY BAY  
 AQUARIUM®**  
**TENANT  
 IMPROVEMENTS**

AT  
 167 CENTRAL AVE.  
 PACIFIC GROVE, CA 93950

**APN 006-237-020**

DRAWN BY: dr, ca

PRINT DATE:

DRAWING DATE: 04-18-17

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

MBA REVIEW 04-19-2017  
 PLANNING SUBMITTAL 04-24-17

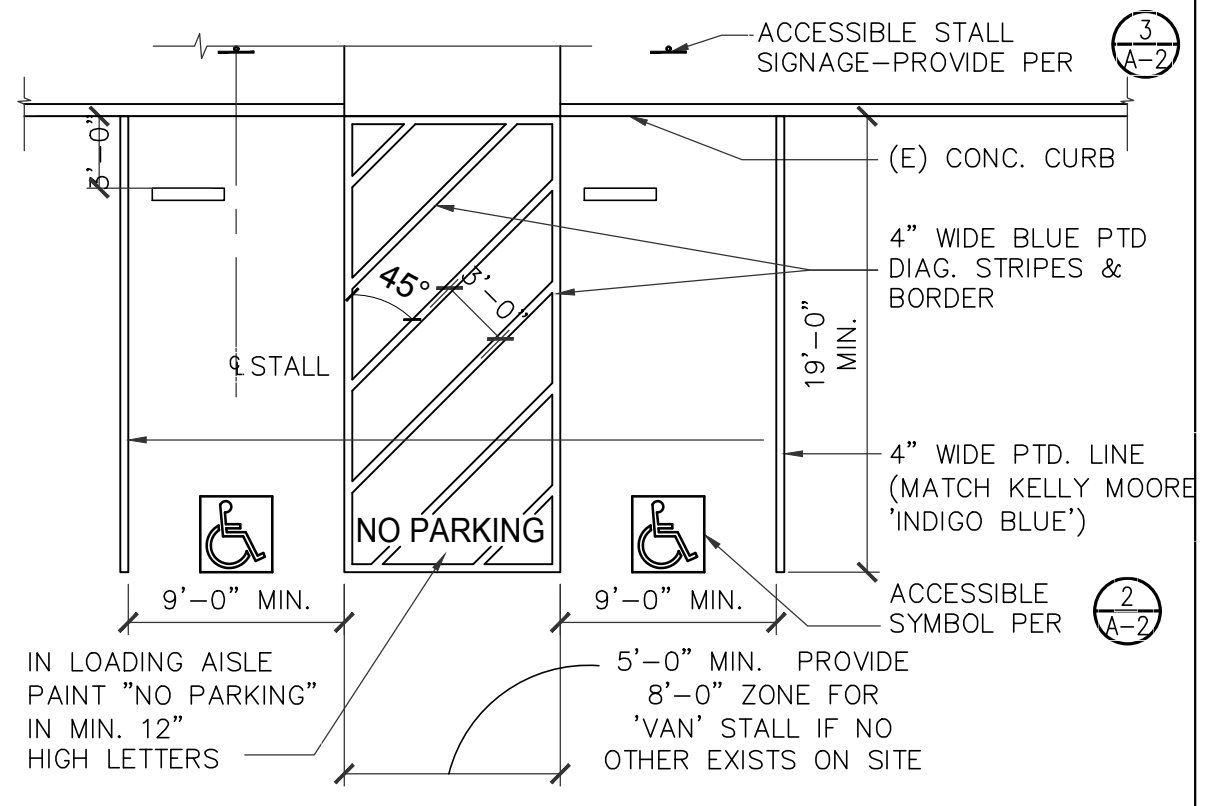
SHEET TITLE:

**SITE PLAN**

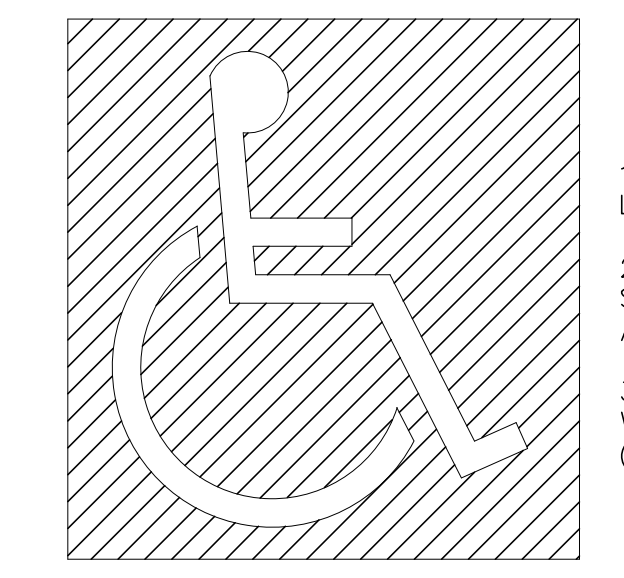
SHEET NUMBER:

**A-2**

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



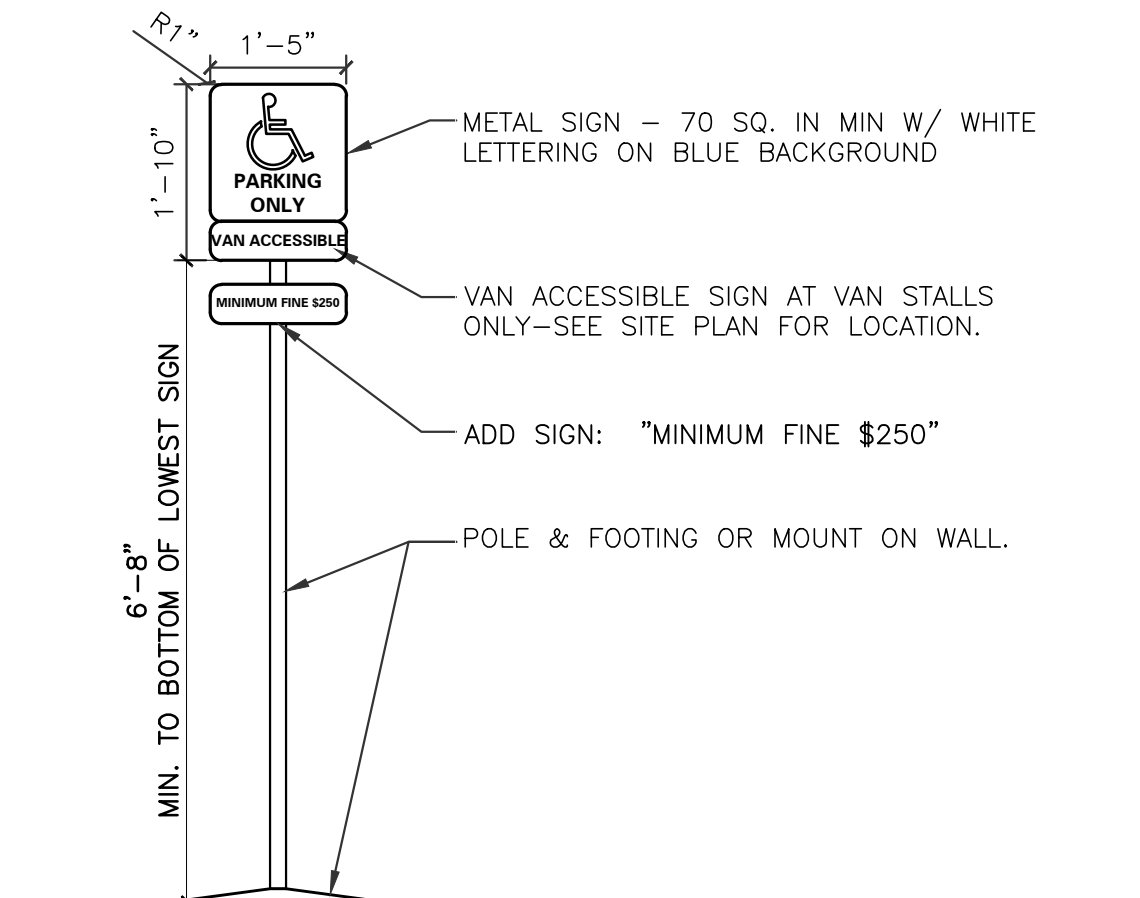
**1 TYPICAL DOUBLE PARKING STALL**  
 SCALE: 1/8" = 1'-0"



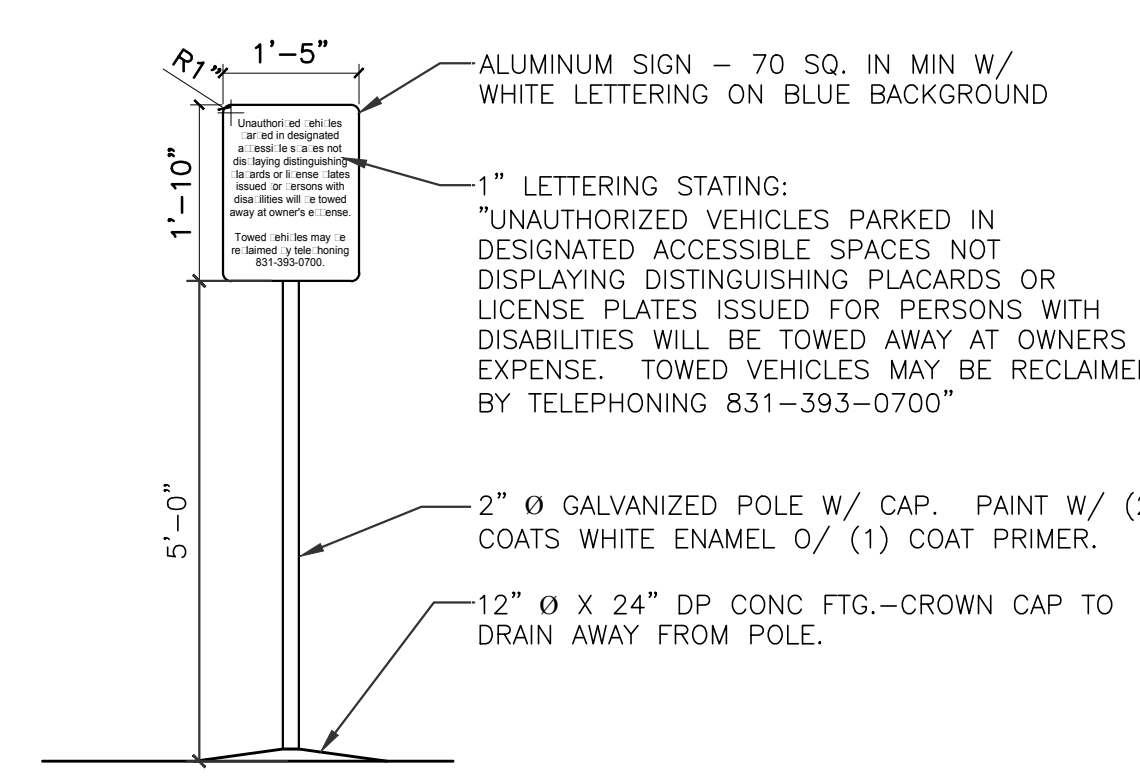
**INTERNATIONAL SYMBOL OF ACCESSIBILITY**

1. MINIMUM 5" X 5" DECAL TO BE LOCATED BY PRIMARY ENTRANCES.
2. MINIMUM 36" X 36" PAINTED SYMBOL ON PAVEMENT BEYOND ACCESSIBLE PARKING STALL(S).
3. BACKGROUND TO BE BLUE, WHEELCHAIR SYMBOL TO BE WHITE (TYPICAL).

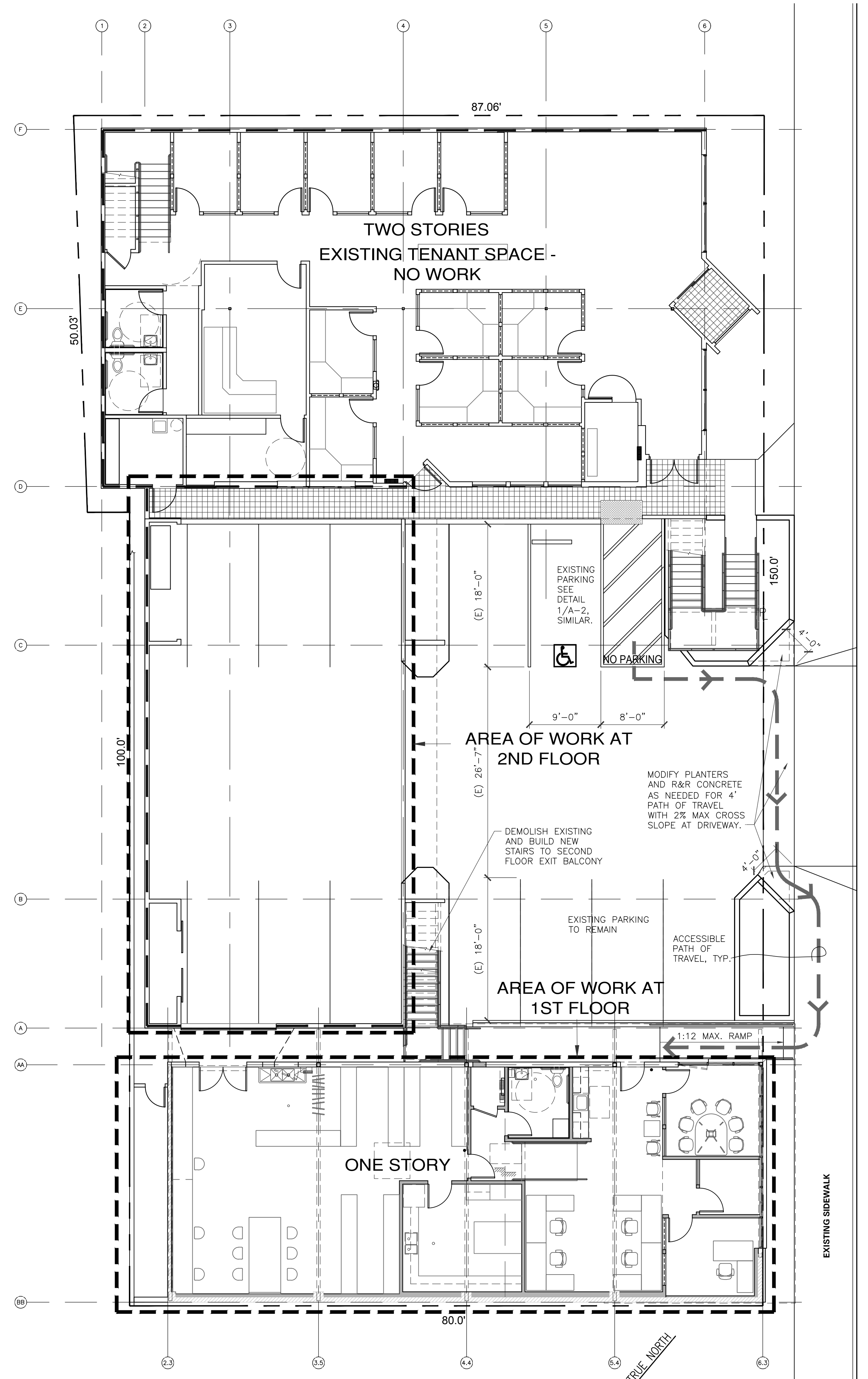
**2 ACCESSIBILITY SYMBOL**  
 SCALE: 1/2" = 1'-0"



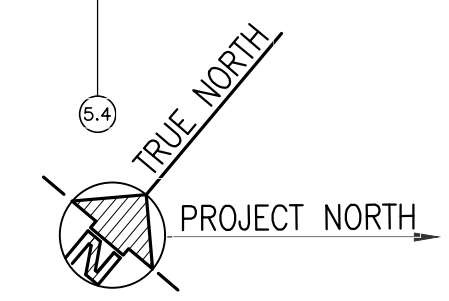
**3 EXISTING ACCESSIBLE STALL SIGN**  
 SCALE: 1/2" = 1'-0"



**4 TOW-AWAY SIGN**  
 SCALE: 1/2" = 1'-0"

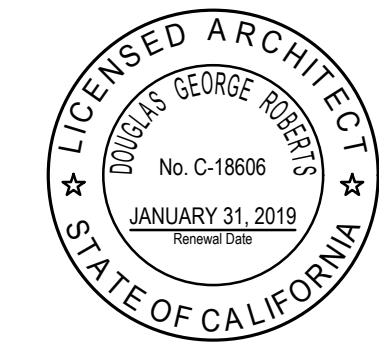


**LEGAL DESCRIPTION:** UNIVERSITY ADD TO PACIFIC GROVE N.ELY 80 FT OF LOTS 8 & 9 AND ALL OF LOT 10 BLOCK 5.



**SITE PLAN**  
 SCALE: 1/8" = 1'-0"

S:\Clients\Monterey Bay Aquarium\Monterey Bay Aquarium 167 Central\DWG\2017A-3 SITE PLAN.dwg, 02/24/2017 10:37:37 AM, Christine



PROJECT/OWNER



## MONTEREY BAY AQUARIUM TENANT IMPROVEMENTS

AT  
167 CENTRAL AVE.  
PACIFIC GROVE, CA 93950

APN 006-237-020

DRAWN BY: dr, ca

PRINT DATE:

DRAWING DATE: 04-18-17

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:  
MBA REVIEW 04-19-2017  
PLANNING SUBMITTAL 04-24-17

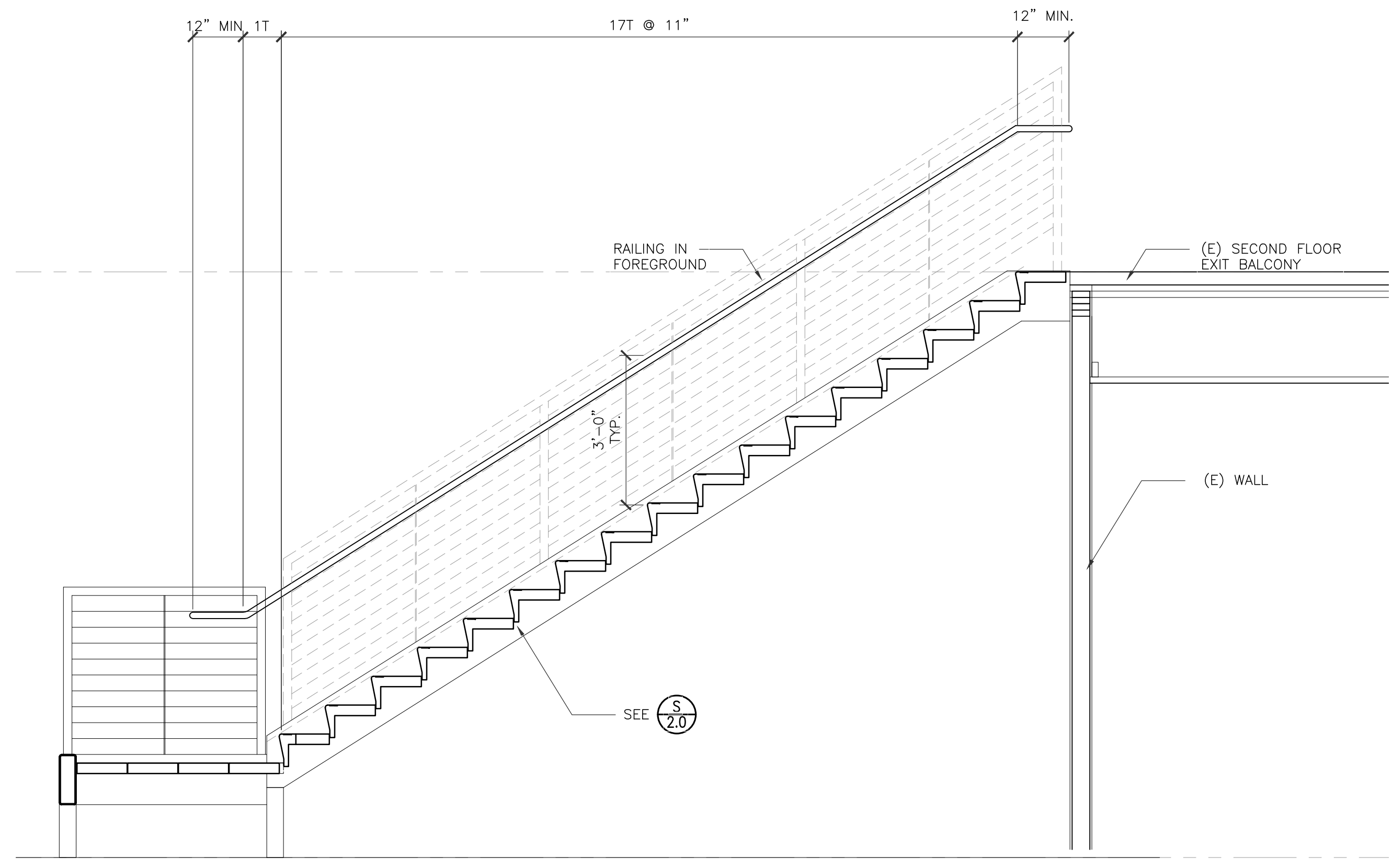
SHEET TITLE:

## STAIR SECTION & ELEVATION

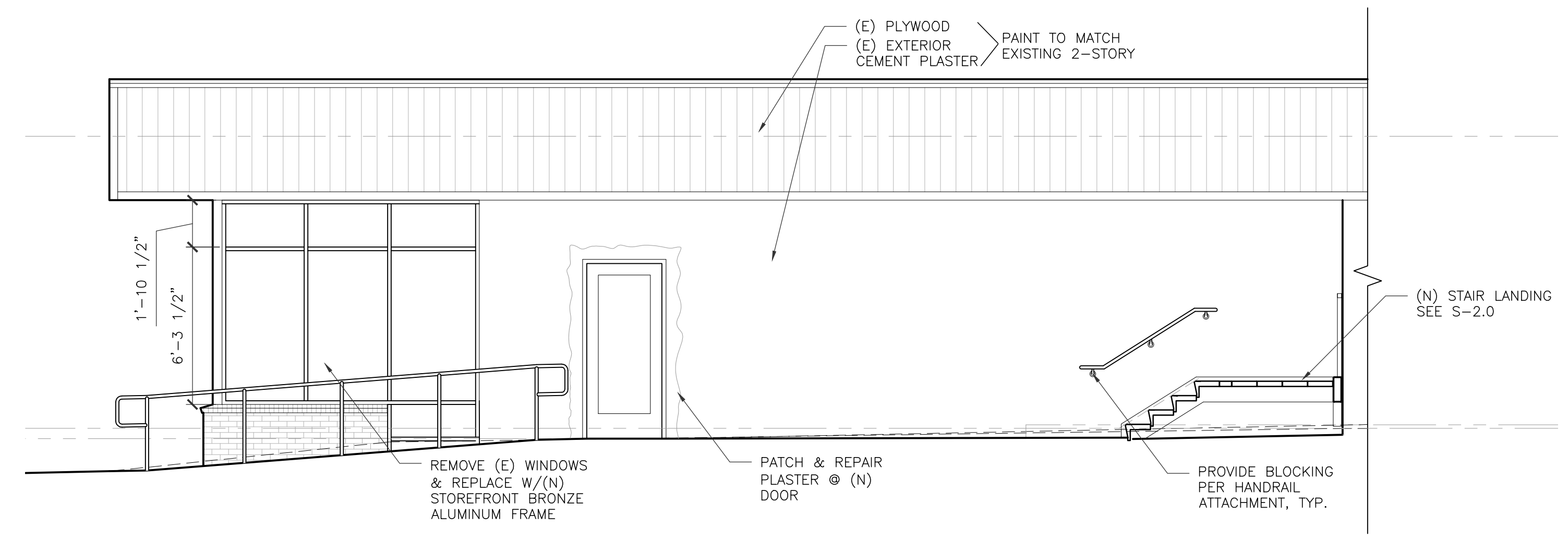
SHEET NUMBER:

# A-2.1

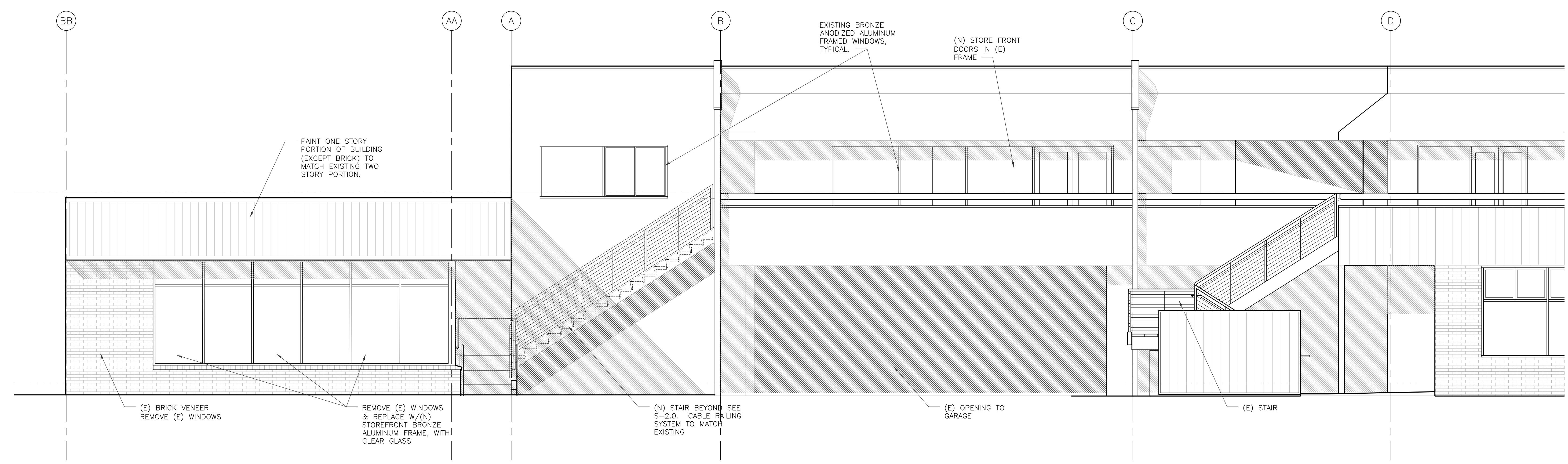
THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



**C STAIR SECTION**  
A2.1 SCALE: 1/2"=1'-0"



**B PARKING LOT SIDE ELEVATION**  
A2.1 SCALE: 1/4"=1'-0"



**A CENTRAL AVENUE ELEVATION**  
A2.1 SCALE: 1/4"=1'-0"

S:\Clients\Monterey Bay Aquarium\Monterey Bay Aquarium - 167 Central Ave\A2.1 - STAIR DETAILS.dwg, 4/24/2017 10:38:13 AM, Christine



PROJECT/OWNER



## MONTEREY BAY AQUARIUM

### TENANT IMPROVEMENTS

AT  
167 CENTRAL AVE.  
PACIFIC GROVE, CA 93950

APN 006-237-020

DRAWN BY: dr, ca

PRINT DATE:

DRAWING DATE: 04-18-17

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

MBA REVIEW 04-19-2017  
PLANNING SUBMITTAL 04-24-17

CENTRAL AVE.

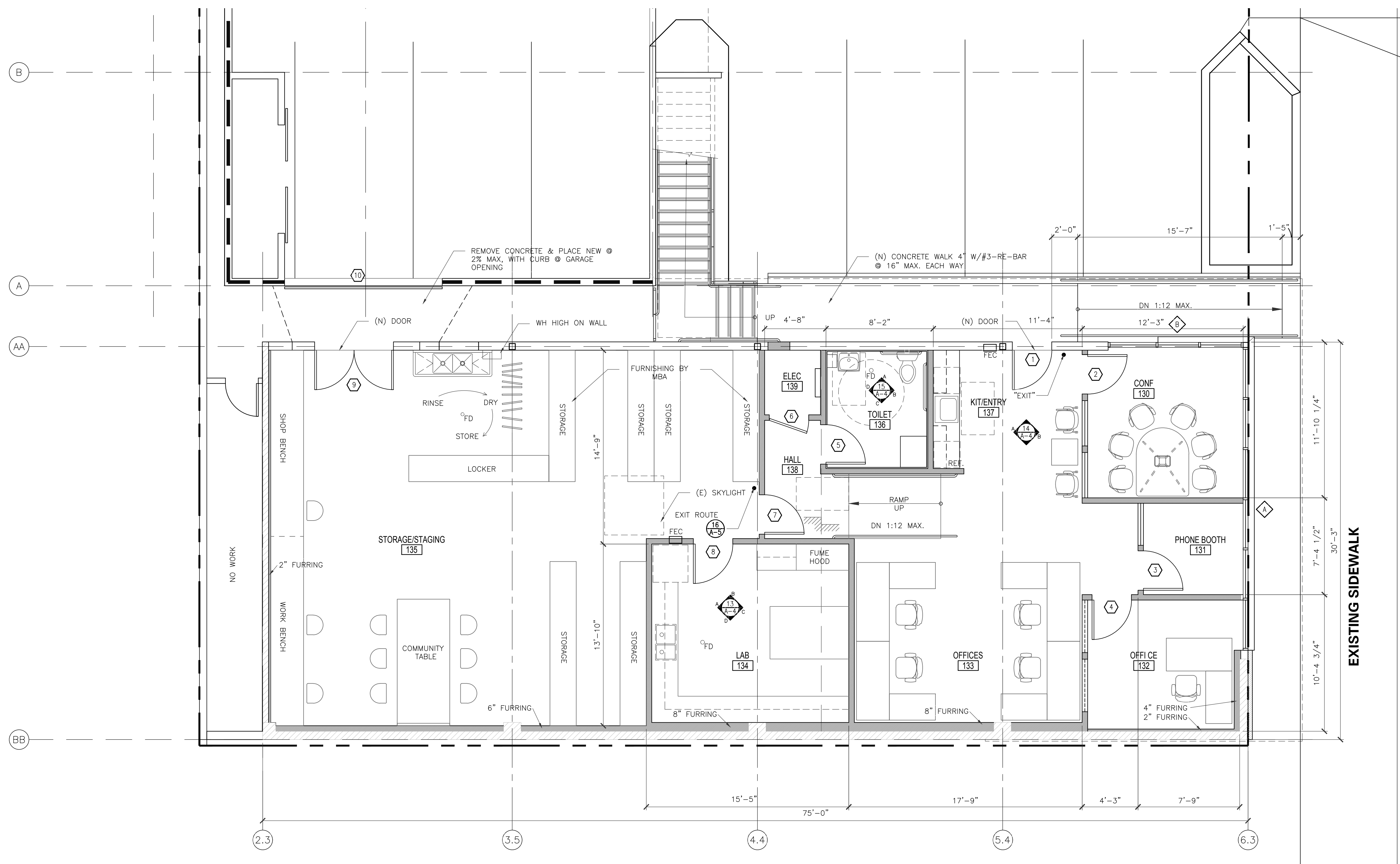
SHEET TITLE:

## NEW FIRST FLOOR PLAN

SHEET NUMBER:

# A-3.1

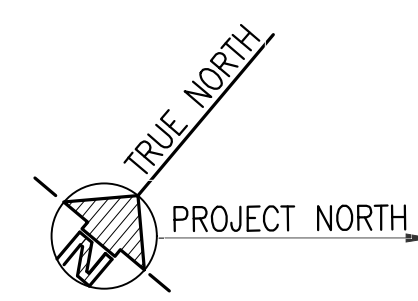
THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



- WALL LEGEND**
- EXISTING WALL TO BE REMOVED
  - EXISTING WALL TO REMAIN. REFER TO NOTES OR SCHEDULES REGARDING FINISHES
  - EXISTING 1-HR RATED WALL TO REMAIN.
  - NEW 1-HR RATED WALL.
  - NEW FULL HEIGHT STUD WALL: 2x4'S AT 16" O.C., U.O.N., ALL VOIDS FILLED WITH R-11 UNFACED FIBERGLASS SOUND INSULATION, 5/8" GWB BOTH SIDES, EXCEPT EXTERIOR FINISHES AS OCCUR.

### NEW FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



S:\Clients\Monterey Bay Aquarium\Monterey Bay Aquarium 167 Central\DWG\2017A-3.1 NEW 1ST PLAN.dwg 4/24/2017 10:38:59 AM Christine

**JHW**  
**ARCHITECTS INC.**  
 2400 GARDEN ROAD  
 SUITE C  
 MONTEREY, CA 93940  
 (831) 649-1701  
 FAX (831) 649-3072  
 www.jhwarch.com



PROJECT/OWNER



**MONTEREY BAY**  
**AQUARIUM**  
**TENANT**  
**IMPROVEMENTS**

AT  
 167 CENTRAL AVE.  
 PACIFIC GROVE, CA 93950  
**APN 006-237-020**

DRAWN BY: dr, ca

PRINT DATE:

DRAWING DATE: 04-18-17

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

MBA REVIEW 04-19-2017  
 PLANNING SUBMITTAL 04-24-17

SHEET TITLE:

**NEW SECOND FLOOR PLAN, FINISH SCHED**

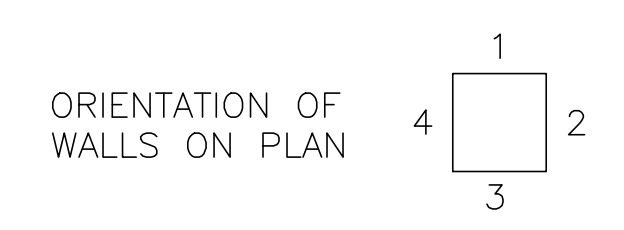
SHEET NUMBER:

**A-3.2**

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

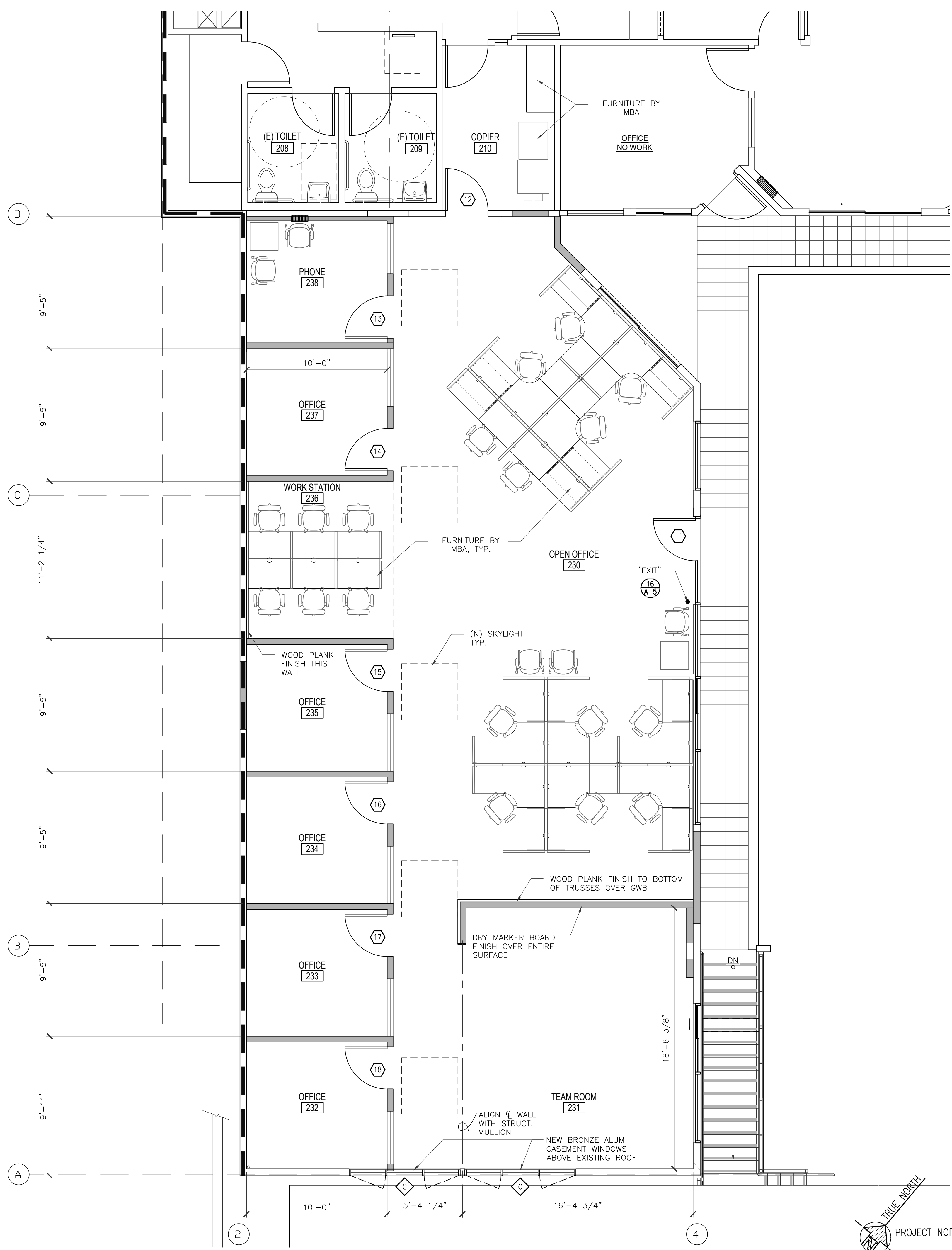
ROOM MATERIAL SCHEDULE									
NO.	ROOM NAME	FLR / BASE	WALLS				CEILING		COMMENTS
			1	2	3	4	MAT/FIN	HT.	
130	CONFERENCE	1A	7	7	8J	8J	13	9'-8"	
131	PHONE BOOTH	1A	8J	7	8J	8J	13	9'-8"	
132	OFFICE	1A	8J	7/8J	8J	8J	13	9'-8"	
133	OFFICES	1A	--	8J	8J	8J	7	+/- 12'-4"	
134	LAB	2D	8J	8J	8J	8J	13	9'-0"	
135	STORAGE/STAGING	2B	8H	8H	8H	8H	7	+/- 11'-10"	
136	TOILET	4C	8J/10	8J/10	8J/10	8J/10	8J	9'-0"	
137	KIT / ENTRY	1A	8J	8J	--	8J	7	+/- 12'-4"	
138	HALL	1A	8J	8J	8J	8J	8J	9'-0"	
139	ELECTRICAL	5B	8G	8G	8G	8G	8G	9'-0"	
230	OPEN OFFICE	1A	8J	8J	8J	8J	7	10'+	PAINT ALL CEILING
231	TEAM ROOM	1A	8J	8J	8J	8J	7	10'+	PAINT ALL CEILING
232	OFFICE	1A	8J	8J	8J	8J	13	9'-0"	
233	OFFICE	1A	8J	8J	8J	8J	13	9'-0"	
234	OFFICE	1A	8J	8J	8J	8J	13	9'-0"	
235	OFFICE	1A	8J	8J	8J	8J	13	9'-0"	
236	WORK STATION	1A	8J	--	8J	8J	13	9'-0"	
237	OFFICE	1A	8J	8J	8J	8J	13	9'-0"	
238	PHONE	1A	8J	8J	8J	8J	13	9'-0"	

ROOM MATERIAL LEGEND			
FLOOR TYPES		BASE TYPES	
1	CARPET TILE	A	WOOD BASE
2	LIQUID APPLIED EPOXY	B	RESILIENT BASE
3	LINOLEUM TILE	C	COVED CERAMIC TILE
4	PORCELAIN TILE	D	COVED EPOXY BASE
5	SEALED CONCRETE	E	EXISTING - NO WORK
6	EXISTING - NO WORK		
WALL / CEILING MATERIAL		WALL / CEILING FINISHES	
7	EXIST'G STRUCT OR FINISH	G	GA LEVEL 3, TEXTURE & PRIME
8	5/8" GWB	H	GA LEVEL 4, TEXTURE & PRIME
X	TYPE "X" FOR FIRE RATING	J	GA LEVEL 5, SMOOTH & PRIME
10	CER. TILE O/ #8, W.R. BD	K	PAINT P1
11	WOOD PLANK O/ #8	L	PAINT P2
12	DMB SURFACE O/ #8	M	PAINT P3
13	SUSPEND. ACOUS. PANEL	N	PAINT P4
14		U	UNFINISHED



WALL LEGEND	
---	EXISTING WALL TO BE REMOVED
---	EXISTING WALL TO REMAIN, REFER TO NOTES OR SCHEDULES REGARDING FINISHES
---	EXISTING 1-HR RATED WALL TO REMAIN.
---	NEW 1-HR RATED WALL.
---	NEW FULL HEIGHT STUD WALL: 2x4'S AT 16" O.C., U.O.N., ALL VOIDS FILLED WITH R-11 UNFACED FIBERGLASS SOUND INSULATION, 5/8" GWB BOTH SIDES, EXCEPT EXTERIOR FINISHES AS OCCUR.

**NEW SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



S:\Clients\Monterey Bay Aquarium\167 Central\DWG\2017A-3.2 NEW 2ND FLOOR PLAN.dwg, 4/24/2017 10:39:41 AM, Chiharu